

SCHEDULE OF BOUNDARIES

1. 96° 04' - 4.225 (A)
2. 3° 59' 35" - 1.21 BY SURVEY (A)
3. 94° 45' 30" - 0.105 BY SURVEY
4. 4° 45' 30" - 3.90 BY SURVEY
5. 96° 04' 30" - 0.915 BY SURVEY (B)
6. 94° 43' 30" - 7.81 BY SURVEY (C)
7. 96° 04' - 6.235 (B)
8. 6° 04' - 0.03
9. 96° 04' - 2.44 (D)
10. 185° 34' 10" - 12.16
11. 276° 04' - 21.64
12. 5° 34' 10" - 6.84

(A) CENTRE OF 0.255 WIDE PARTY WALL (J309345)
 (B) CENTRE OF 0.23 WIDE PARTY WALL (J309345)
 (C) CENTRE OF 0.51 WIDE PARTY WALL (J309345)
 (D) CENTRE OF 0.115 WIDE PARTY WALL (J309345)
 (E) EASEMENT FOR OVERHANGING GUTTER 015 WIDE (J309345)

- THE LAND EXCLUDES THE RAILWAY BELOW - LOT 100 DP1103512 (LIMITED IN STRATUM)

SCHEDULE OF WINDOWS

No.	SILL RL	HEAD RL
1	42.06	43.44
2	NOT VISIBLE	44.25
3	NOT VISIBLE	44.25

NOTES:

1. THE POSITION OF IMPROVEMENTS TO BOUNDARIES ARE DIAGRAMMATIC ONLY
2. POSITION OF RIDGE LINES ARE DIAGRAMMATIC ONLY (NOT TO SCALE)
3. NO INVESTIGATION OF UNDERGROUND SERVICES HAS BEEN MADE. RELEVANT AUTHORITIES ARE TO BE NOTIFIED PRIOR TO ANY DEVELOPMENT
4. VARIATIONS IN TITLE DIMENSIONS HAVE BEEN DETERMINED AND ARE NOTED 'BY SURVEY' ON THE PLAN
5. CONTOURS ARE INDICATIVE OF GROUND FORM ONLY. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION
6. NO INVESTIGATIONS HAVE BEEN MADE OF BUILDING RESTRICTIONS WHICH MAY APPLY TO THIS LAND
7. CONTOUR INTERVAL 0.2m MINOR 1.0m MAJOR
8. ORIGIN OF LEVELS: PM 35752 RL 28.93 A.H.D
9. THE SPREAD AND HEIGHT OF TREES SHOWN ARE INDICATIVE ONLY AND CANNOT BE SHOWN ACCURATELY WITHOUT ADDITIONAL DETAILED SURVEY

REFERENCE:
 10. BEARINGS SHOWN ARE RELATED TO TRUE NORTH
 10505/19 DWG

REG'D SURVEYOR

STUTCHBURY JAQUES PTY LTD
 LAND SURVEYING CONSULTANTS
 P.O. BOX 7249, BROOKVALE NSW 2100

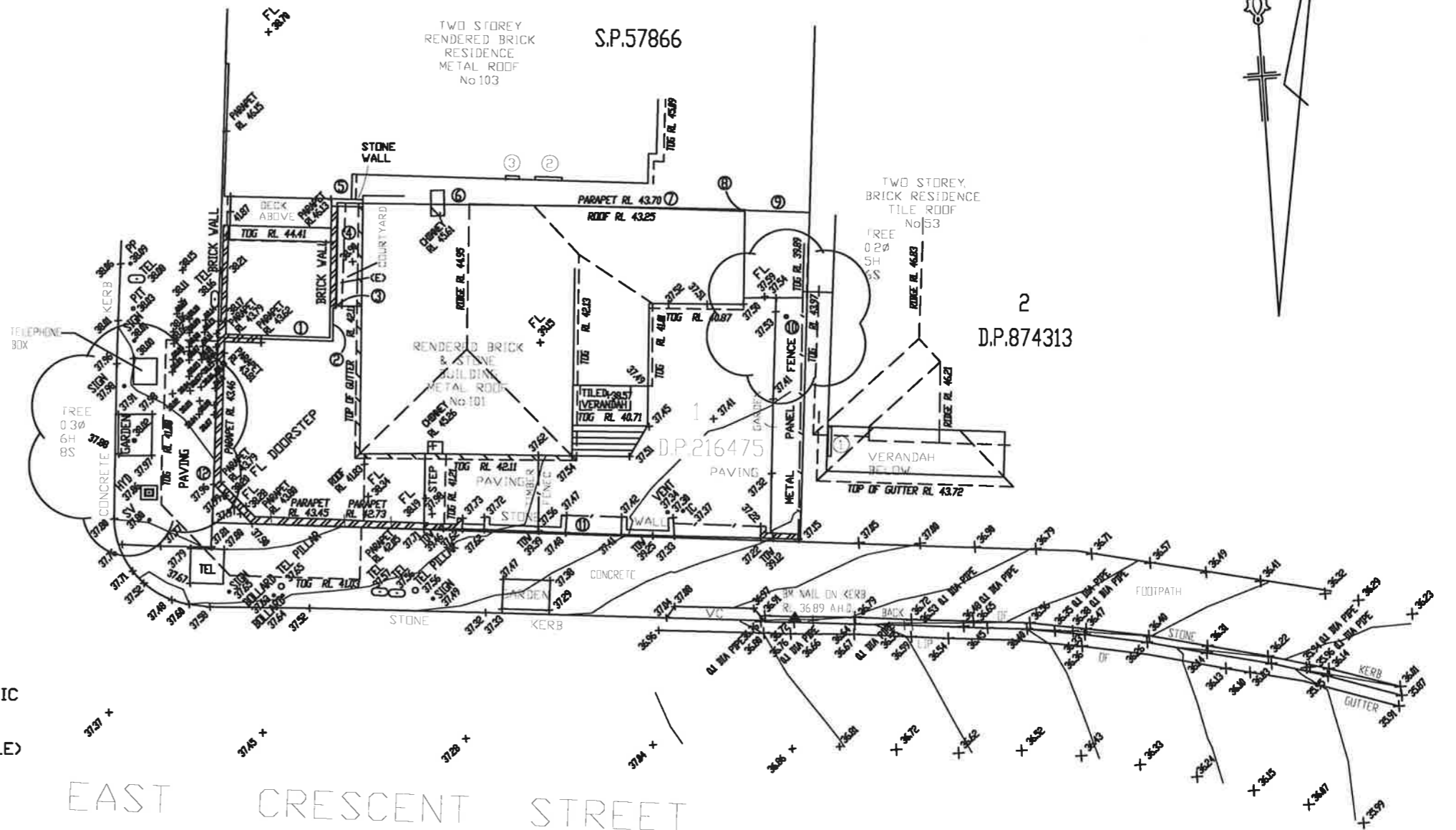
PH: 8976 1600 FAX: 8976 1655 E-MAIL: info@stutchbury.net.au

AMENDMENT: KERB AND ROAD LEVELS ADDED EAST CRESCENT, 19/12/2019
 BOUNDARIES OF SUBJECT PROPERTY AMPLIFIED, 31/08/2021

DATE: 25/6/2019	CLIENT: PETER PRINCI
SCALE: 1:200	PROJECT: LEVEL & DETAIL SURVEY
DATUM: A.H.D.	LOT 1 D.P.216475
SITE AREA: 239.2 m ² BY SURVEY	No.101 BLUES POINT ROAD, McMAHONS POINT
SHEET 1 OF 1 SHEETS	LGA: NORTH SYDNEY

BLUES POINT ROAD

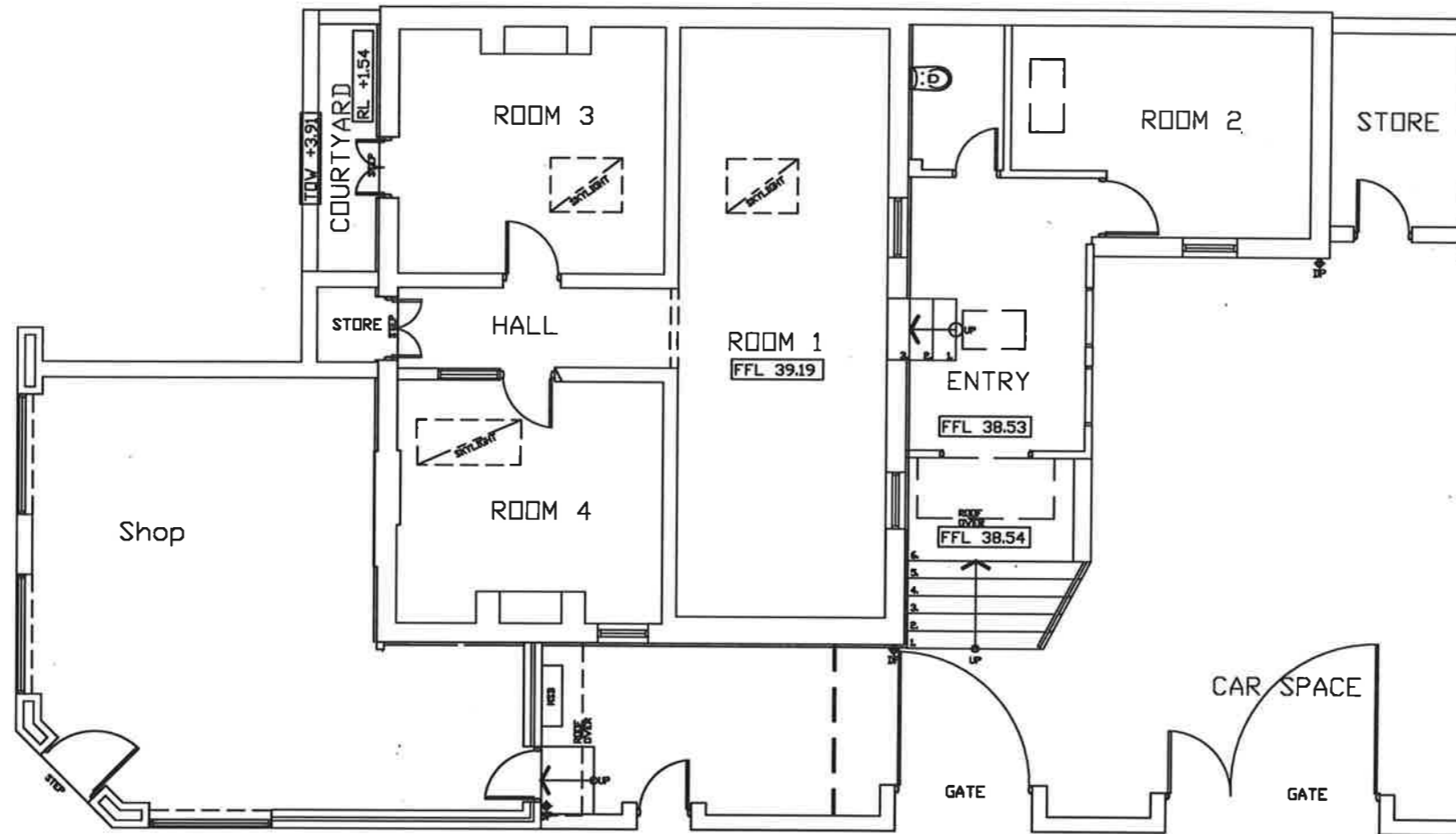
EAST CRESCENT STREET



LEGEND

- | | |
|-------------------------|------------------------------|
| AC - AIR CONDITIONER | MH - MANHOLE |
| DPC - DAMP PROOF COURSE | PB - POWER BOX |
| EBOX - ELECTRICITY BOX | PC - PRAM CROSSING |
| EP - ELECTRICITY PIT | PP - POWER POLE |
| FL - FLOOR LEVEL | SMH - SEWER MANHOLE |
| GM - GAS METER | SO - STORMWATER OUTLET |
| GS - GAS SERVICE | SV - STOP VALVE |
| GP - GULLY PIT | TEL - TELECOMMUNICATIONS PIT |
| HW - HOT WATER HEATER | TOW - TOP OF WALL |
| HYD - HYDRANT | VC - VEHICLE CROSSING |
| IC - INSPECTION COVER | WM - WATER METER |
| LH - LAMP HOLE | WS - WATER SERVICE |
| LP - LIGHT POLE | |





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 Written Dimensions preferred to scale
 All measurements to be checked on site
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Client
DR. ERIC LIM
 8H, 8 COWPER STREET
 PARRAMATTA NSW 2150

Project
 ALTERATIONS AND ADDITIONS
 101 BLUES POINT ROAD
 McMAHONS POINT NSW 2060

Drawing
 EXISTING FLOOR PLAN

DEVELOPMENT APPLICATION

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Drawn PP	Job No.
Checked PP	Date 15.10.21
Scale 1:100	Issue A

Drawing No.
 E 01

BLUES POINT ROAD

TWO STOREY
RENDERED BRICK
RESIDENCE
METAL ROOF
No 103

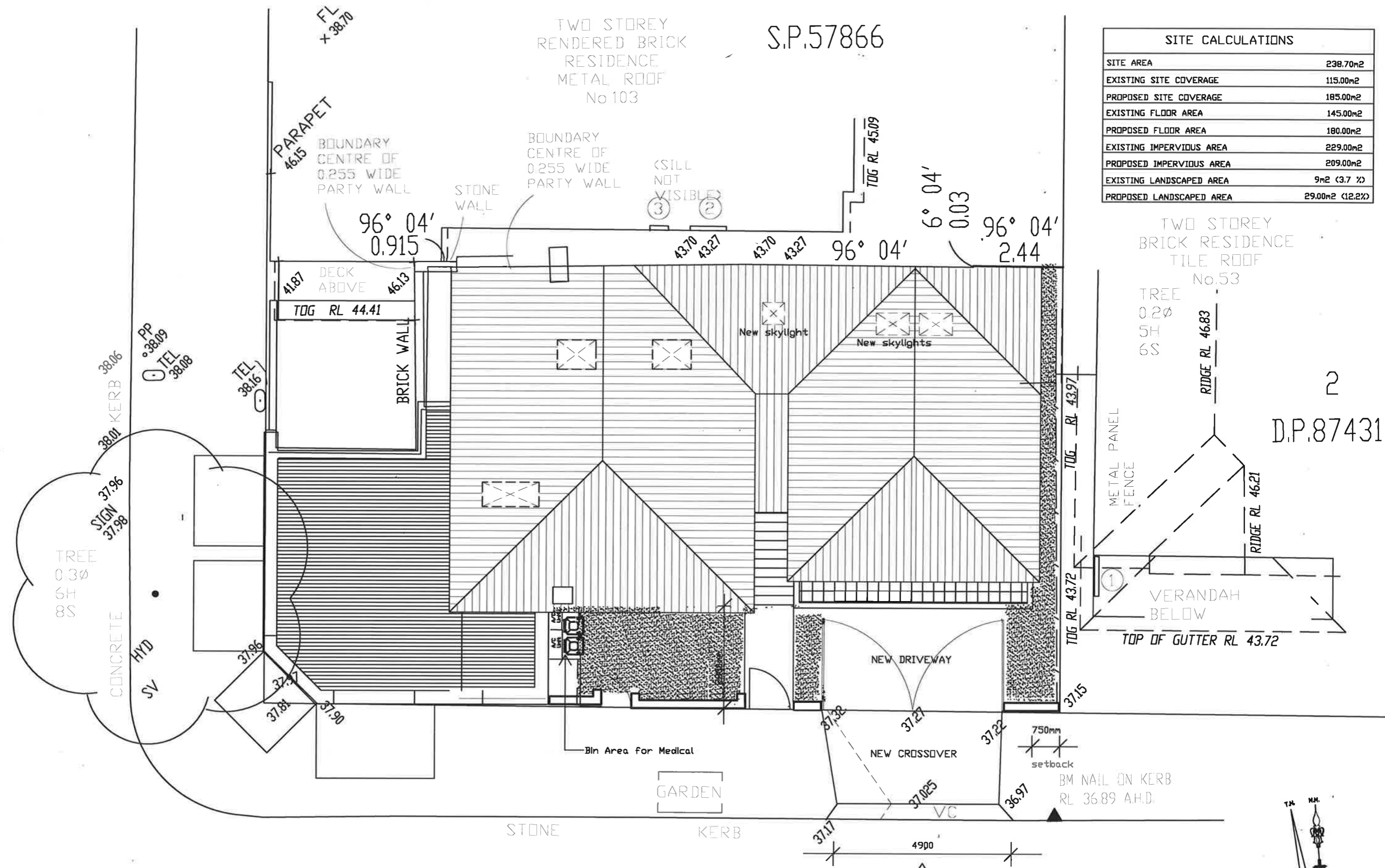
S.P.57866

SITE CALCULATIONS	
SITE AREA	238.70m ²
EXISTING SITE COVERAGE	115.00m ²
PROPOSED SITE COVERAGE	185.00m ²
EXISTING FLOOR AREA	145.00m ²
PROPOSED FLOOR AREA	180.00m ²
EXISTING IMPERVIOUS AREA	229.00m ²
PROPOSED IMPERVIOUS AREA	209.00m ²
EXISTING LANDSCAPED AREA	9m ² (3.7 %)
PROPOSED LANDSCAPED AREA	29.00m ² (12.2%)

TWO STOREY
BRICK RESIDENCE
TILE ROOF
No.53

TREE
0.2Ø
5H
6S

2
D.P.874313



SITE PLAN

EAST CRESENT STREET

Chimney stacks and cowls to be conserved in accordance with Conservation Management Strategy 15-10-2021

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ALTERATIONS AND ADDITIONS
101 BLUES POINT ROAD
MCMAHONS POINT NSW 2060

Drawing
SITE PLAN

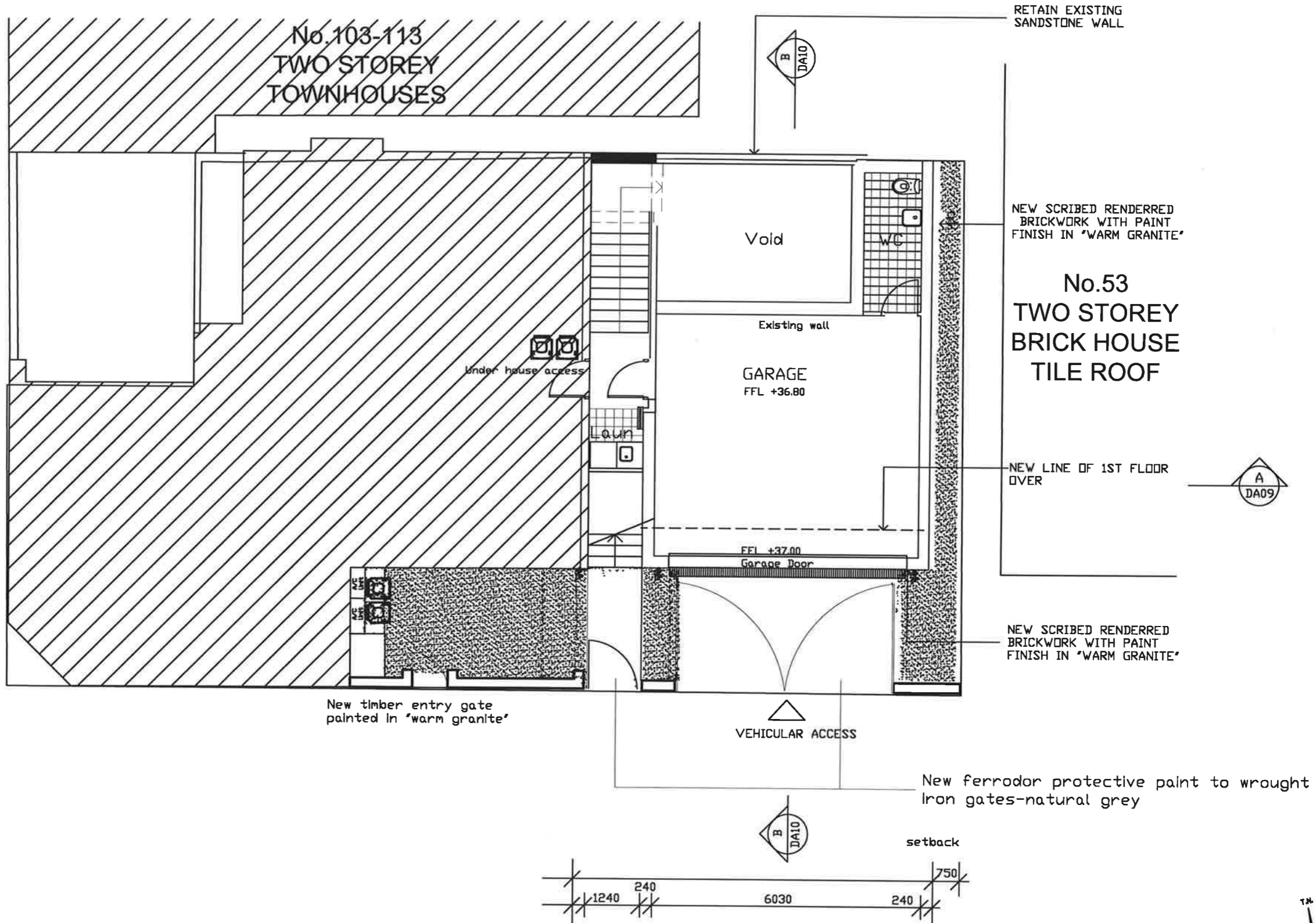
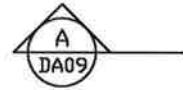
DEVELOPMENT APPLICATION

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Scale 1:100	Issue A

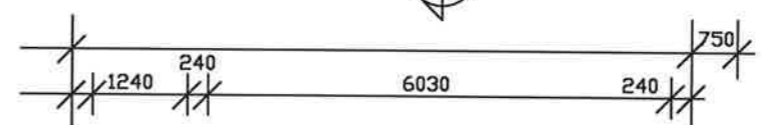
Drawing No.
DA01

BLUES POINT ROAD



5525
2750 setback

EAST CRESENT STREET



LOWER FLOOR PLAN
Garage - 45m2 (Only 16m2 contributes to FSR)



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Project
ALTERATIONS AND ADDITIONS
101 BLUES POINT ROAD
MCMAHONS POINT NSW 2060

Drawing
LOWER FLOOR PLAN

DEVELOPMENT APPLICATION

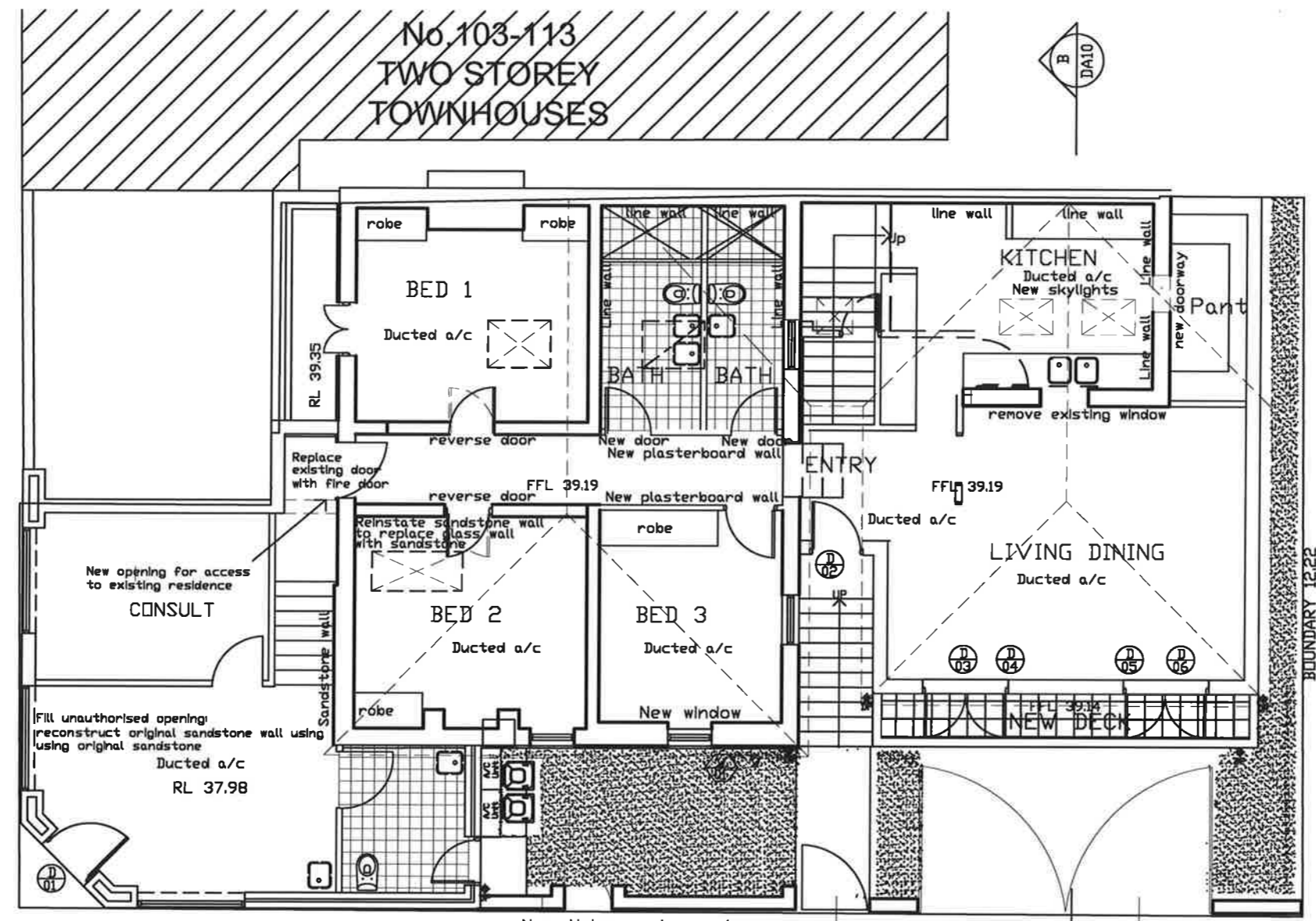
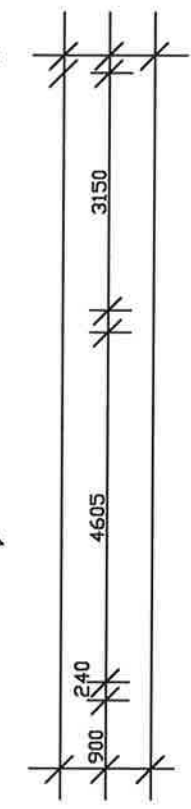
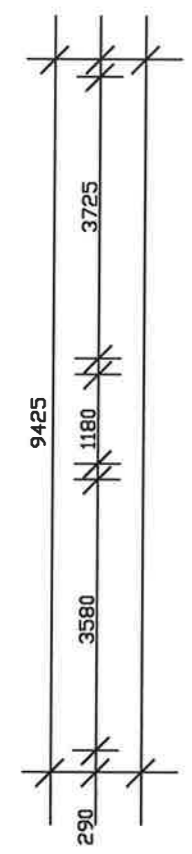
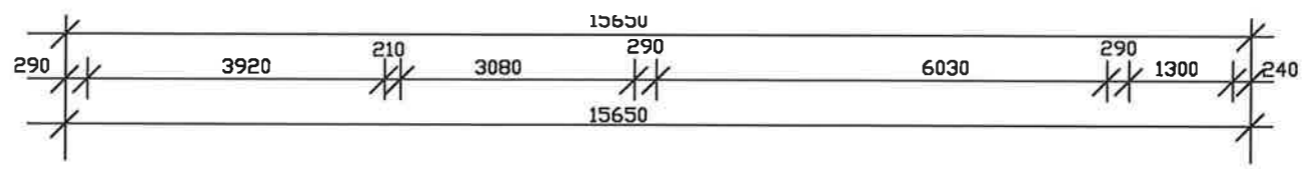
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Checked PP	Date 15.10.21
Scale 1:100	Issue A

Drawing No.
DA02

Chimney stacks and cowls to be conserved in accordance with Conservation Management Strategy 15-10-2021

BLUES POINT ROAD



NEW RENDERED BRICKWORK WITH STRIKE JOINTS TO MATCH EXISTING SANDSTONE PROPORTIONS.

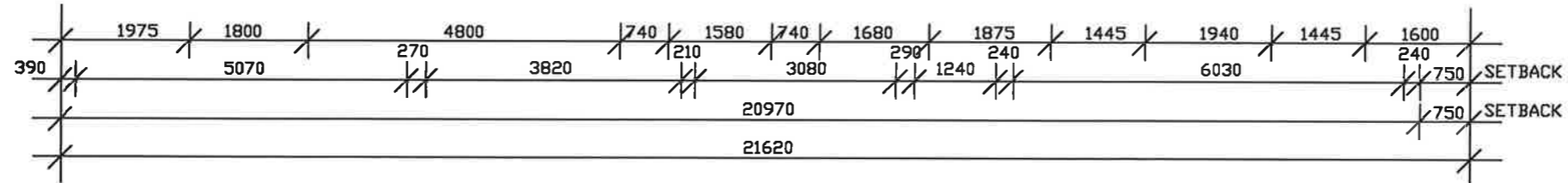
As per previous approval Door to be lowered to accommodate accessibility. Width will remain as existing Door style will be as existing, with light panel above

Ducted a/c to medical premises and house

New timber entry gate painted in 'warm granite'

Front fence to be modified using existing blocks

New ferrador protective paint to wrought iron gates-natural grey



EAST CRESENT STREET

FLOOR PLAN
 Corner premises - 37.0m²
 Residence - 125.0m²



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Project
 ALTERATIONS AND ADDITIONS
 101 BLUES POINT ROAD
 McMAHONS POINT NSW 2060

Drawing
 FLOOR PLAN

DEVELOPMENT APPLICATION

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PP
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PP
 Scale
1:100

Job No.
 Date
15.10.21
 Issue
A
 Drawing No.
DA03

EXTERIOR FINISHES - corner

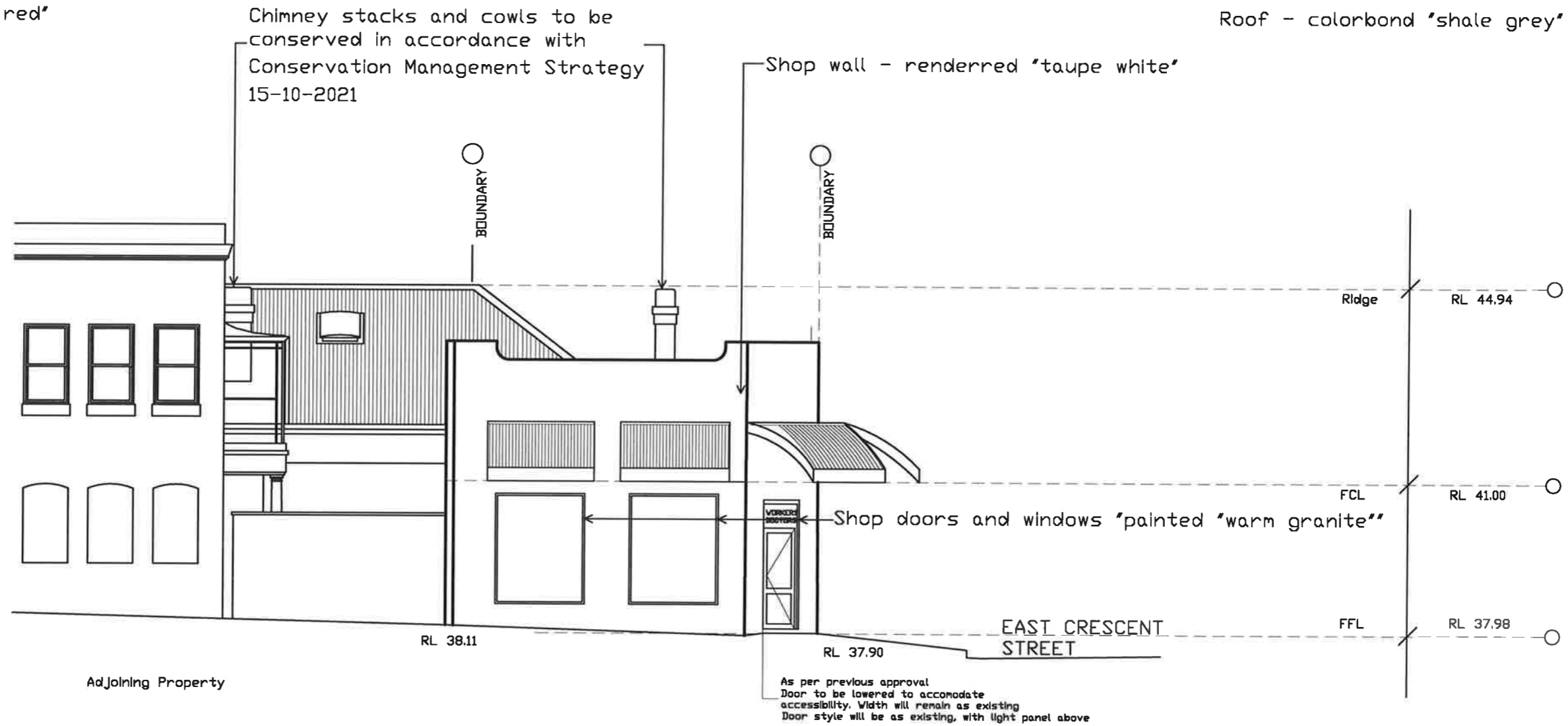
Walls - Renderred - Paint finish "white taupe"

Windows - Timber "black"

Awnings - Canvas "manor red"

Windows - Timber "black"

Roof - colorbond "shale grey"



WEST ELEVATION

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Project
 PROPOSED CONSULTING ROOM
 101 BLUES POINT ROAD
 McMAHONS POINT NSW 2060

Drawing
 ELEVATION

DEVELOPMENT APPLICATION

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Scale 1:100	Issue A

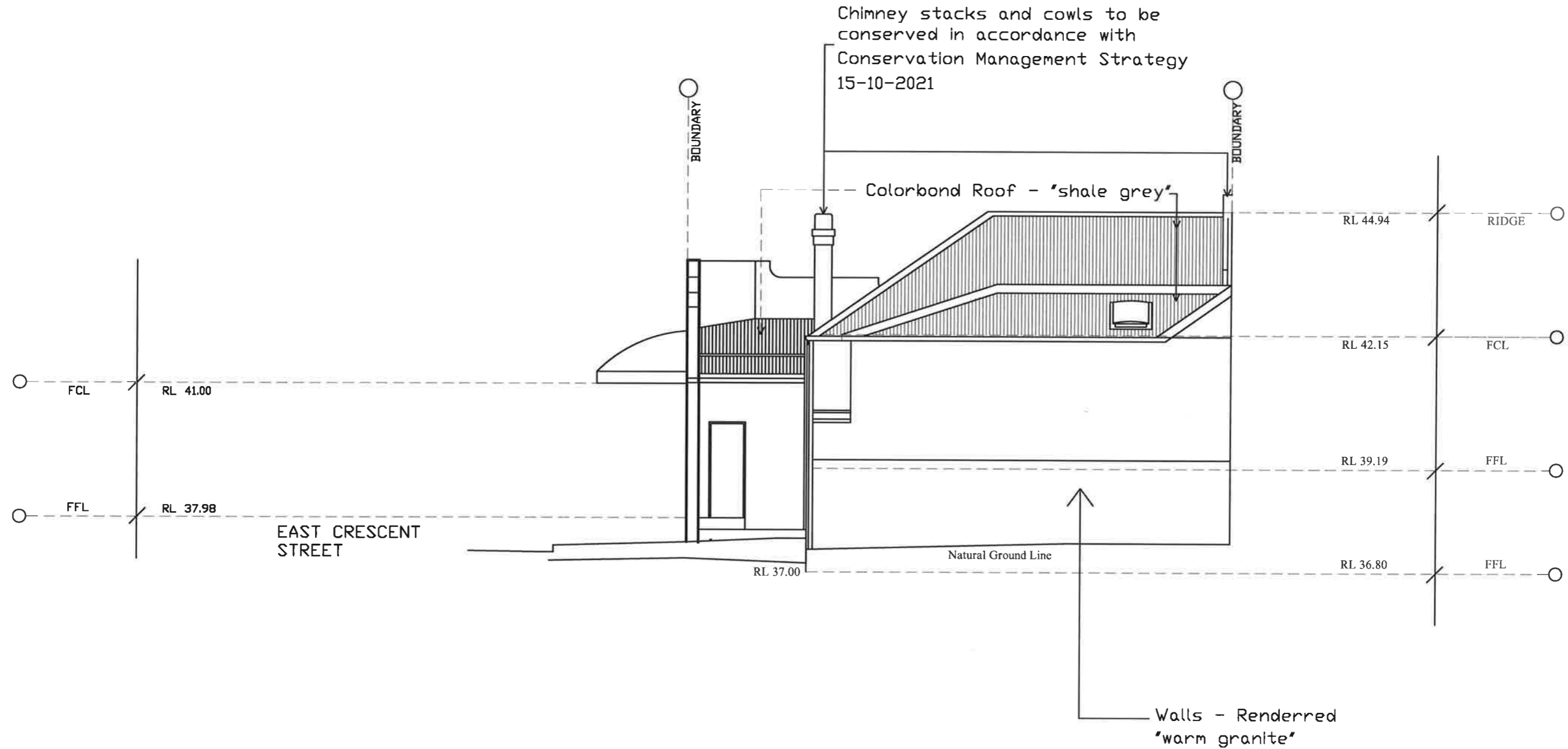
DA04

EXTERIOR FINISHES - corner

Walls - Renderred - Paint finish "white taupe"

Windows - Timber "warm granite"

Awnings - Canvas "manor red"



 EAST ELEVATION

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Drawing
ELEVATION

DEVELOPMENT APPLICATION

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Drawn PP	Job No.
Checked PP	Date 15.10.21
Scale 1:100	Issue A

Drawing No.
DA05

EXTERIOR FINISHES - corner

Walls - Renderred - Paint finish "white taupe"

Windows - Timber "warm granite"

Awnings - Canvas "manor red"

Shop wall - renderred "taupe white"

Shop doors and windows painted "warm granite"

EXTERIOR FINISHES - "cottage"

Windows - Timber "white taupe"

Entry door - Timber "white taupe"

Roof - colorbond "shale grey" matt

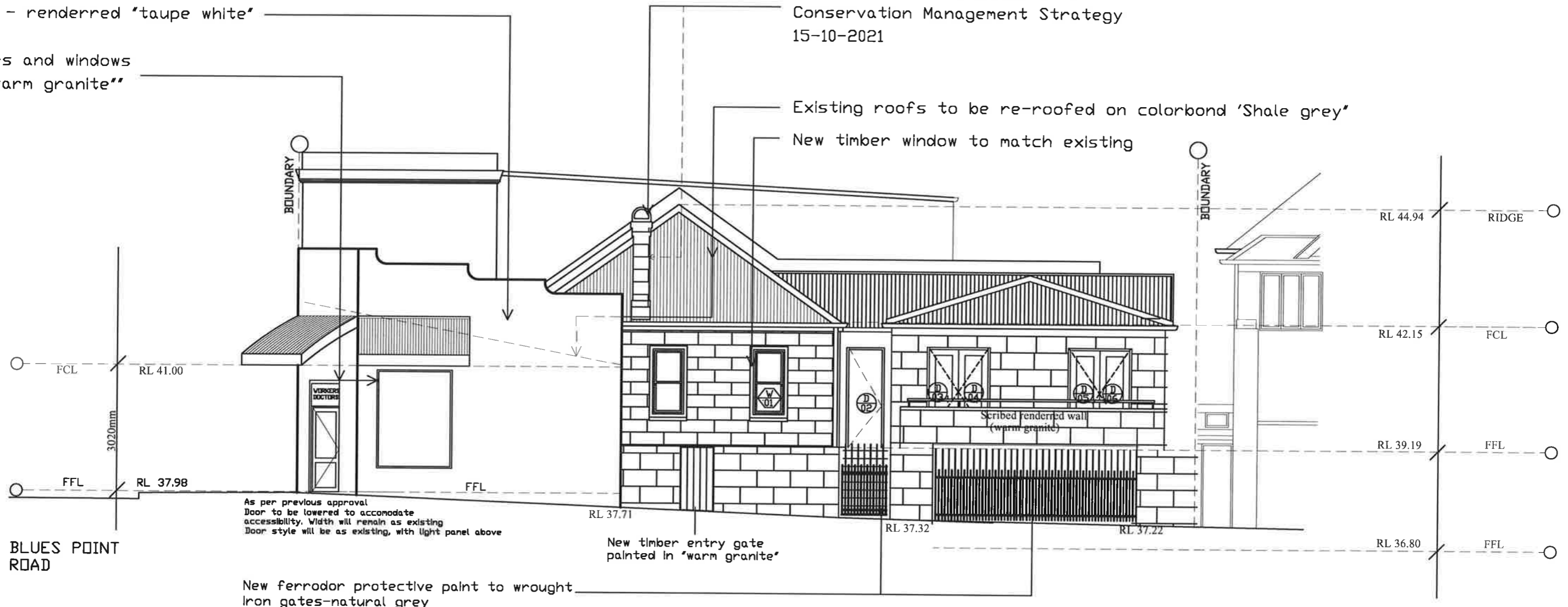
Gates - wrought iron ferrodor "natural grey"

Garage Door - "shale grey" matt

Chimney stacks and cowls to be conserved in accordance with Conservation Management Strategy 15-10-2021

Existing roofs to be re-roofed on colorbond "Shale grey"

New timber window to match existing



○ SOUTH ELEVATION

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PROPOSED CONSULTING ROOM
101 BLUES POINT ROAD
McMAHONS POINT NSW 2060

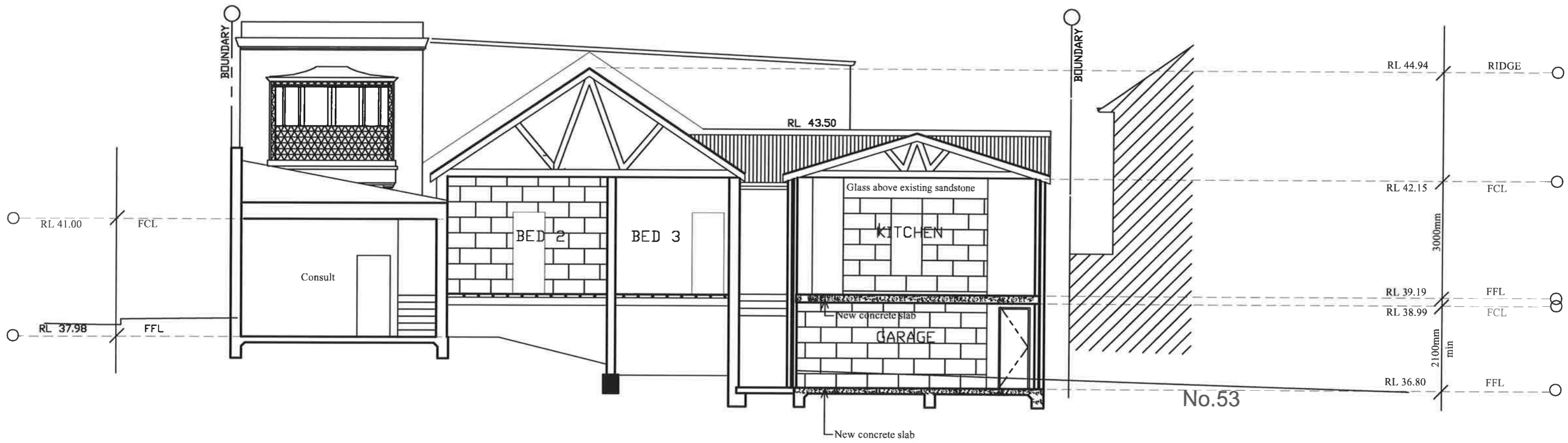
Drawing
ELEVATION

DEVELOPMENT APPLICATION

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Drawn PP	Job No.
Checked PP	Date 15.10.21
Scale 1:100	Issue A

Drawing No.
DA06



SECTION A-A

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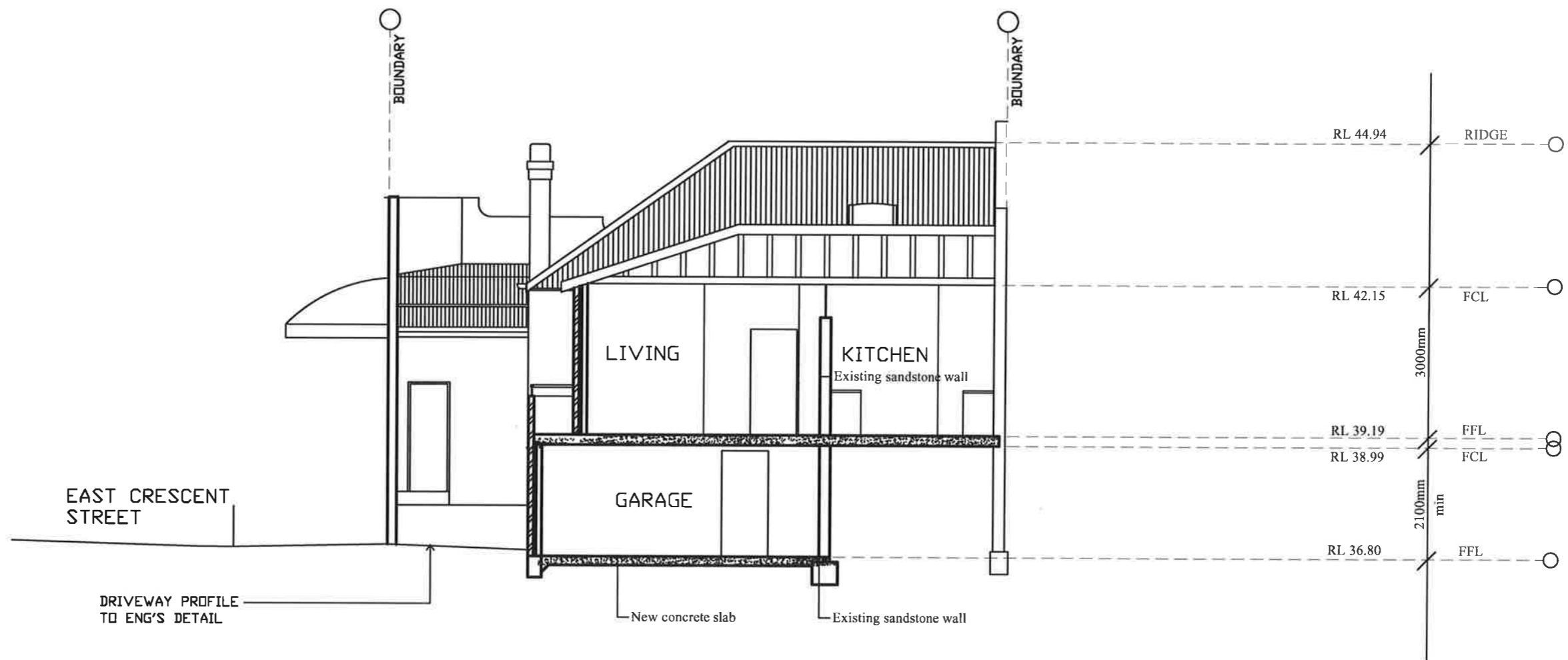
Drawing
 SECTION

DEVELOPMENT APPLICATION

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Scale 1:100	Issue A

Drawing No.
DA07



SECTION B-B

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Project
PROPOSED CONSULTING ROOM
 101 BLUES POINT ROAD
 MCMAHONS POINT NSW 2060

Drawing
SECTION

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Scale 1:100	Issue A

Drawing No.
DA08

NOTIFICATION PLANS

101 BLUES POINT ROAD - McMAHONS POINT

